



## 2 Cross Cottages Rea Lane, Gloucester, GL2 5LP

Offers Over £300,000

Rea Lane in Hempsted, Gloucester is a quiet, residential road located just to the south of the city center. Hempsted itself is a small, historic area that has developed over time but still retains a more rural, village-like character.

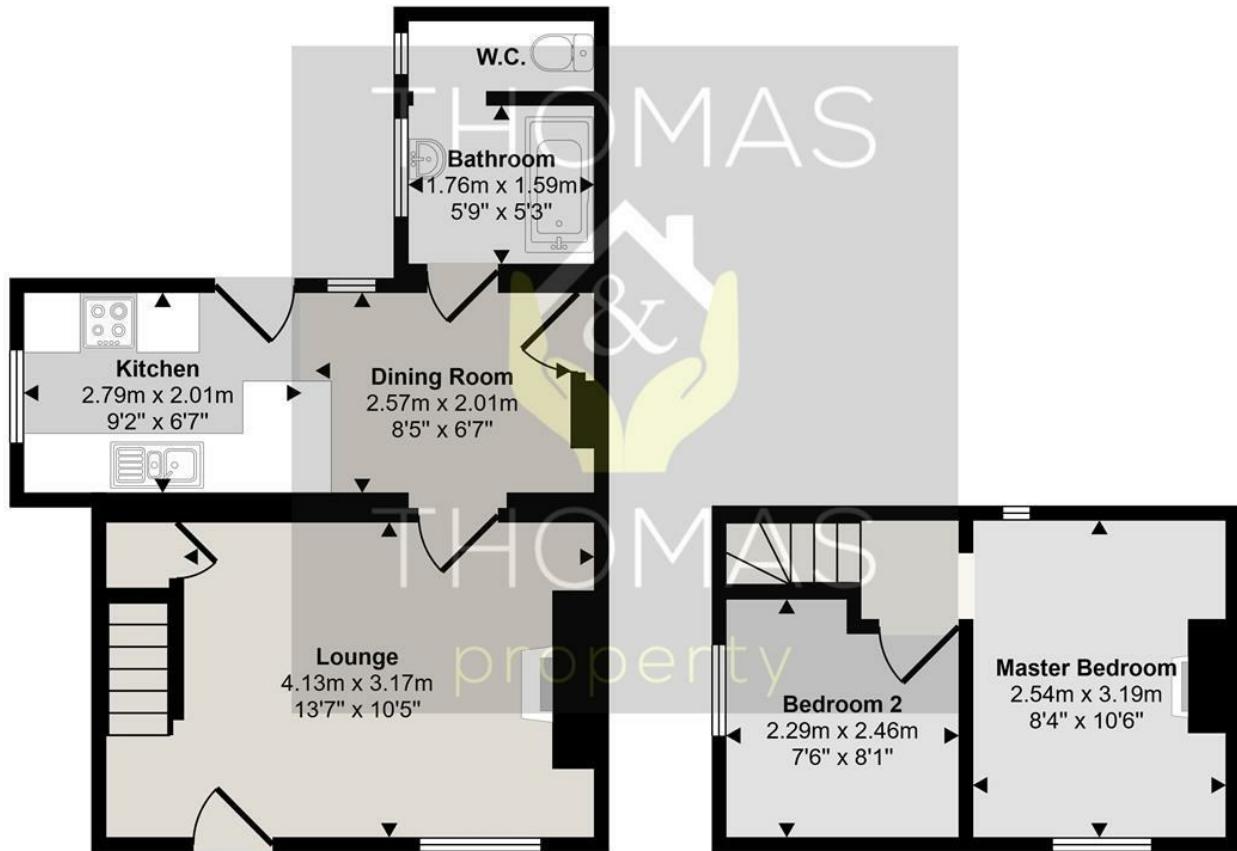
The cottage is set on a substantial plot with ample off road gated parking and good sized garden. The property previously had planning permission for an extension, this has since lapsed.

Inside you will find a blend of modern and traditional features including exposed beams and a log burner. The kitchen / diner is equipped with storage cupboard and breakfast bar, along with room for all freestanding appliances. The modern bathroom is tiled, with shower over bath. Upstairs there are two bedrooms, one double and one single.

Offered to the market chain free, this would make the ideal cosy home in a semi rural location but still close to local amenities.

- Chain Free
- Two Bedroom Cottage
- Gas Central Heating & Wood Burner
- Off Road Parking for 3+ Cars
- Modern Throughout
- Previous Planning Permission Granted

Approx Gross Internal Area  
49 sq m / 531 sq ft



### Ground Floor

Approx 33 sq m / 357 sq ft

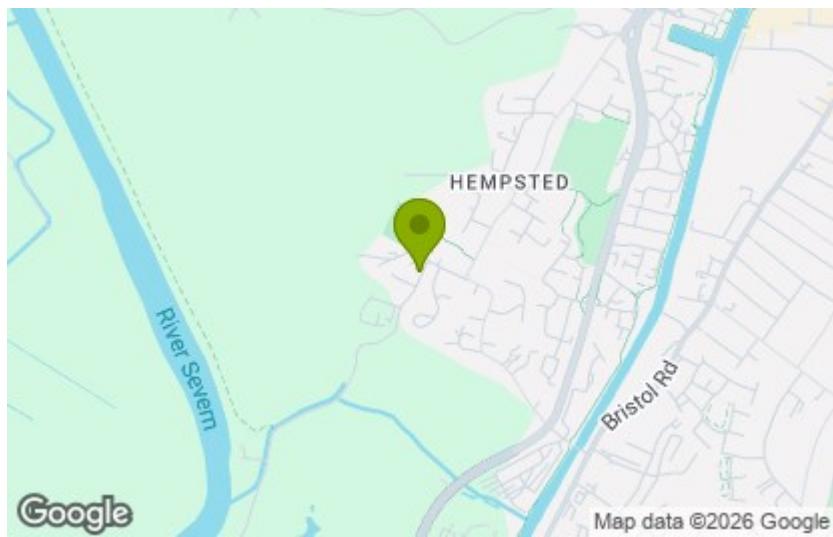
### First Floor

Approx 16 sq m / 174 sq ft

This floorplan is only for illustrative purposes and is not to scale. Measurements of rooms, doors, windows, and any items are approximate and no responsibility is taken for any error, omission or mis-statement. Icons of items such as bathroom suites are representations only and may not look like the real items. Made with Made Snappy 360.

| Energy Efficiency Rating                    |                         |           |
|---|-------------------------|-----------|
|   | Current                 | Potential |
| Very energy efficient - lower running costs |                         |           |
| (92 plus) A                                 |                         |           |
| (81-91) B                                   |                         |           |
| (69-80) C                                   |                         |           |
| (55-68) D                                   |                         |           |
| (39-54) E                                   |                         |           |
| (21-38) F                                   |                         |           |
| (1-20) G                                    |                         |           |
| Not energy efficient - higher running costs |                         |           |
| England & Wales                             | EU Directive 2002/91/EC |           |

| Environmental Impact (CO <sub>2</sub> ) Rating                  |                         |           |
|---|-------------------------|-----------|
|   | Current                 | Potential |
| Very environmentally friendly - lower CO <sub>2</sub> emissions |                         |           |
| (92 plus) A   |                         |           |
| (81-91) B   |                         |           |
| (69-80) C   |                         |           |
| (55-68) D   |                         |           |
| (39-54) E   |                         |           |
| (21-38) F   |                         |           |
| (1-20) G  |                         |           |
| Not environmentally friendly - higher CO <sub>2</sub> emissions |                         |           |
| England & Wales   | EU Directive 2002/91/EC |           |



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